



CITY OF PACIFIC GROVE
300 Forest Avenue, Pacific Grove, California 93950

AGENDA REPORT

TO: Architectural Review Board

FROM: Laurel O'Halloran, Associate Planner

MEETING DATE: December 18, 2017

ADDRESS: 1315 Lincoln Avenue Pacific Grove (APN 007-573-009)

**ZONING/
LAND USE:** R-1/Medium Density to 17.4 DU/ac

SUBJECT: Architectural Permit Application No. 17-1029: To allow the addition of 108 square feet on the first floor and a second story addition of 541 square feet to an existing single story 1,182 square foot residence for a total two story residence of 1,831 square feet, to also rebuild the existing carport into a garage.

CEQA STATUS: Categorical Exemption; §15301

PROJECT DESCRIPTION

Architectural Permit 17-1029 would allow the addition of 108 square feet on the first floor and a second story addition of 541 square feet to an existing single story 1,182 square foot residence for a total two story residence of 1,831 square feet, to also rebuild the existing carport into a garage.

BACKGROUND

On November 6, 2017 Joseph Rock, Architect, applied for an Architectural Permit to allow the demolition of the existing single story residence located at 1315 Lincoln. The proposed development will meet the development regulations set forth in the R-1 zoning district including setbacks and height requirements.

DISCUSSION

The subject residence is a single-story wood framed plain structure that was built in 1954. At the September 27, 2017 Historic Resource Committee meeting it was determined the residence was ineligible for the Historic Resource Inventory.

The property is not located in the Archaeological Zone or in an Area of Special Biological Significance

The following General Plan, Chapter 8, goals, policies, and programs are applicable to the Architectural Permit application.

Policy 2 Continue to require citywide architectural review for exterior changes to existing structures.

Program B While recognizing the individuality of existing neighborhoods encourage additions that contribute to the character of the area, while allowing for creativity in design.

Zoning Code:

The proposed project meets the R-1 Zoning code requirements. The allowable maximum building coverage is 40% and the proposed project site will have a building coverage of 30%. The allowable maximum site coverage is 60% and the proposed project site will have site coverage of 45%. The allowable maximum gross floor area is 2,476 sf and the proposed project site will create a 1,831 sf residence.

Trees and Landscaping:

No tree removal is being proposed as part of this development. The City Arborist will insure that tree protection measures are being met.

Architectural Design Guidelines:

The project proposal appears to adhere to the following Architectural Review Guidelines:

Architectural style and design:

Diverse architectural styles lie at the heart of Pacific Grove's distinctive character. New construction should be compatible with established styles.

Guideline # 1: The mass and height of a new building should blend well with neighboring structures and not overwhelm them with disproportionate size or a design that is out of character.

The proposed design aligns proportionately with neighboring structures.

Guideline #27: A building should be in scale with its site.

The proposed design provides open space around the residence which complements the design and preserves the character of the neighborhood.

Guideline #28: An addition should complement and balance the overall form, mass, and composition of the existing building.

The proposed design complements and improves the existing building also allowing for a more interesting structure.

Details:

The proposed project will have new board and batten siding. The windows will be Milgard Tuscany series casement vinyl windows..

ENVIRONMENTAL REVIEW

The project qualifies for a Class 1 exemption from CEQA requirements, pursuant to Section 15301(e) (1) – Existing Facilities. The proposed addition and alterations do not present any unusual circumstances that would result in a potentially significant environmental impact. The proposed alterations do not constitute a substantial adverse change to the structure, thus conforming to the requirements of the California Environmental Quality Act (CEQA).

RECOMMENDATION

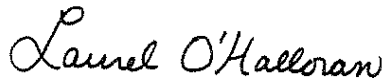
Because of the project’s consistency with the Zoning Ordinance and General Plan, and minimal impact on surrounding properties, staff recommends that the Architectural Review Board:

APPROVE AP No 17-1029 pursuant to PGMC 23.70.060(c) (1) and subject to the attached Findings and Conditions.

ATTACHMENTS

- A. Permit Application
- B. Draft Permit
- C. CEQA Documentation
- D. Project Plans

RESPECTFULLY SUBMITTED:



Laurel O'Halloran
Associate Planner



CITY OF PACIFIC GROVE

Community Development Department – Planning Division

300 Forest Avenue, Pacific Grove, CA 93950

Tel: 831.648.3190 • Fax: 831.648.3184 • www.cityofpacificgrove.org/cedd

Permit Application

Application # 17-Item 7a

Date: 11-6-17

Total Fees: \$13,325.55

APPLICANT/OWNER:	Project Address: <u>1315 LINCOLN AVE.</u> APN: <u>007-573-009</u>										
	Project Description: <u>REBUILD EXIST. GARPORT TO GARAGE, SECOND FLOOR MASTER BEDROOM/BATH, STAIRS ADDITION TO EXIST. SINGLE-FAMILY RESIDENCE</u>										
	Tree Work? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No										
	<table style="width:100%;"> <tr> <td style="text-align: center;"><u>Applicant</u></td> <td style="text-align: center;"><u>Owner</u></td> </tr> <tr> <td>Name: <u>JOSEPH ROCK</u></td> <td>Name: <u>JAMES + RACHEL BAILEY</u></td> </tr> <tr> <td>Phone: <u>831 373-9331</u></td> <td>Phone: <u>931 217-0337</u></td> </tr> <tr> <td>Email: <u>ROCKTBO7@SBGGLOBAL.NET</u></td> <td>Email: _____</td> </tr> <tr> <td>Mailing Address: <u>210 17TH ST. #1 PACIFIC GROVE, CA 93950</u></td> <td>Mailing Address: <u>1315 LINCOLN AVE. PACIFIC GROVE, CA 93950</u></td> </tr> </table>		<u>Applicant</u>	<u>Owner</u>	Name: <u>JOSEPH ROCK</u>	Name: <u>JAMES + RACHEL BAILEY</u>	Phone: <u>831 373-9331</u>	Phone: <u>931 217-0337</u>	Email: <u>ROCKTBO7@SBGGLOBAL.NET</u>	Email: _____	Mailing Address: <u>210 17TH ST. #1 PACIFIC GROVE, CA 93950</u>
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PLANNING STAFF USE ONLY:	Permit Request: <input type="checkbox"/> CRD: Counter Determination <input type="checkbox"/> SP: Sign Permit <input type="checkbox"/> LM: Lot Merger <input type="checkbox"/> EIR: Environmental Impact <input checked="" type="checkbox"/> AP: Architectural Permit <input type="checkbox"/> UP: Use Permit <input type="checkbox"/> IHS: Initial Historic Screening <input type="checkbox"/> VAR: Variance <input type="checkbox"/> AAP: Administrative AP <input type="checkbox"/> AUP: Administrative UP <input type="checkbox"/> HPP: Historic Preservation <input type="checkbox"/> MMP: Mitigation Monitoring <input type="checkbox"/> ADC: Arch Design Change <input type="checkbox"/> ADU: Acc. Dwelling Unit <input type="checkbox"/> A: Appeal <input type="checkbox"/> Stormwater Permit <input type="checkbox"/> ASP: Admin Sign Permit <input type="checkbox"/> LLA: Lot Line Adjustment <input type="checkbox"/> TPD: Tree Permit W/ Dev't <input type="checkbox"/> Other: _____										
	CEQA Determination: Review Authority: Active Permits: Overlay Zones: <input checked="" type="checkbox"/> Exempt <input type="checkbox"/> Staff <input type="checkbox"/> HRC <input type="checkbox"/> Active Planning Permit <input type="checkbox"/> Butterfly Zone <input type="checkbox"/> Initial Study & Mitigated Negative Declaration <input type="checkbox"/> ZA <input type="checkbox"/> PC <input type="checkbox"/> Active Building Permit <input type="checkbox"/> Coastal Zone <input type="checkbox"/> Environmental Impact Report <input type="checkbox"/> SPRC <input type="checkbox"/> CC <input type="checkbox"/> Active Code Violation <input type="checkbox"/> Area of Special Biological Significance (ASBS) <input type="checkbox"/> _____ <input checked="" type="checkbox"/> ARB <input type="checkbox"/> _____ Permit #: _____ <input type="checkbox"/> Environmentally Sensitive Habitat Area (ESHA)										
	Property Information Lot: <u>8</u> Block: <u>24</u> Tract: <u>Del Monte Park</u> ZC: <u>R-1</u> GP: <u>Med Dens 17.4 delac</u> Lot Size: <u>4,848 SF</u> <input type="checkbox"/> Historic Resources Inventory <input type="checkbox"/> Archaeologically Sensitive Area										
	Staff Use Only: NOV 06 2017 Received by: <u>Laurel</u> \$ PAID Assigned to: <u>Laurel</u> 3,115 + 210.55 = \$3,325.55 11-6-17 CITY OF PACIFIC GROVE COMMUNITY DEV DEPT										

CERTIFICATION – I, the undersigned, under penalty of perjury, depose and certify that I am the applicant for this request, that the property owner approves this application and that all statements contained herein, including all documents and plans submitted in connection with this application, are true and accurate to the best of my knowledge.

I further acknowledge it is my responsibility to determine whether additional permits are required.

Applicant Signature: [Signature]

Date: 006.30.2017

Owner Signature (Required): [Signature]

Date: 10/26/17

PROJECT DATA SHEET

Project Address: 1315 LINCOLN AVE Submittal Date: NOV. 6, 2017
 Applicant(s): JOSEPH ROCK Permit Type(s) & No(s): _____

	REQUIRED/ Permitted	Existing Condition	Proposed Condition	Notes
Zone District	R-1			
Building Site Area	4800	4800	-	
Density (multi-family projects only)	-			
Building Coverage	40% 1920	1316	1424	
Site Coverage	60% 2880	2086	2194	
Gross Floor Area	2476	1,182	1831	
Square Footage not counted towards Gross Floor Area	porch	245F	245F	
Impervious Surface Area Created and/or Replaced			108	
Exterior Lateral Wall Length to be demolished in feet & % of total*	172	3' 172	ft/19%	18% DEMO
Exterior Lateral Wall Length to be built				
Building Height	25'	14'	21'	
Number of stories	2	1	2	
Front Setback	15'	44'	38'	
<u>WEST</u> Side Setback 10% (specify side)	4'	6'	6'	
<u>EAST</u> Side Setback 10% (specify side)	4'	7'	7'	
Rear Setback	10'	31'	31'	
Garage Door Setback	20'	22'	21'	
Covered Parking Spaces	1	1	1	
Uncovered Parking Spaces	1	1	1	
Parking Space Size (Interior measurement)	9' x 20'	11' x 17'	11' x 20'	
Number of Driveways	1	1	1	
Driveway Width(s)	12'	10'	10'	
Back-up Distance	N/A.			
Eave Projection (Into Setback)	3' maximum	0	0	
Distances Between Eaves & Property Lines	3' minimum	0	0	
Open Porch/Deck Projections				
Architectural Feature Projections				
Number & Category of Accessory Buildings	1	1	1	
Accessory Building Setbacks	5'	3'	3'	
Distance between Buildings		18'	18'	
Accessory Building Heights	15'	12'	12'	
Fence Heights	5'	5'		

*If project proposes demolition to an HRI structure, also indicate % of proposed demolition of the surface of all exterior walls facing a public street or streets, if applicable.



CITY OF PACIFIC GROVE

Community Economic Development Department – Planning Division

300 Forest Avenue, Pacific Grove, CA 93950

T : 831.648.3183 • F : 831.648.3184 • www.ci.pg.ca.us/cdd

ARCHITECTURAL PERMIT (AP) 17-1029

FOR A PROPERTY LOCATED AT 1315 LINCOLN TO ALLOW THE ADDITION OF 108 SQUARE FEET ON THE FIRST FLOOR AND A SECOND STORY ADDITION OF 541 SQUARE FEET TO AN EXISTING SINGLE STORY 1,182 SQUARE FOOT RESIDENCE FOR A TOTAL TWO STORY RESIDENCE OF 1,831 SQUARE FEET, TO ALSO REBUILD THE EXISTING CARPORT INTO A GARAGE.

FACTS

1. The subject site is located at 1315 Lincoln Avenue Pacific Grove, 93950 APN 007-573-009
2. The subject site has a designation of Medium Density 17.4 du/ac on the adopted City of Pacific Grove General Plan Land Use Map.
3. The project site is located in the R-1 zoning district.
4. The subject site is approximately 4,843 square feet.
5. The subject site is developed with a 1,182 square foot single-story single family dwelling.
6. At the September 27, 2017 Historic Resources Committee meeting the property was determined to be ineligible for the City's Historic Resources Inventory.
7. This project has been determined to be CEQA Exempt under CEQA Guidelines Section 15301(e) (1).

FINDINGS

1. The proposed development will meet the development regulations set forth in the R-1 zoning district including setbacks and height requirements and;
2. The architecture and general appearance of the completed project is compatible with the neighborhood because the proposed exterior will be compatible with the size, scale and proportions of the existing residence and other residences in the neighborhood, in that the proposal is consistent with Architectural Review Guidelines 1, 27, 28 and;
3. The completed project will neither be detrimental to the orderly and harmonious development of the city nor impair the desirability of investment or occupation in the neighborhood because the project will be improving the subject property, and;
4. The Staff have been guided by and made reference to applicable provisions of the Architectural Review Guidelines in making its determinations on single-family residences.

PERMIT

Architectural Permit (AP) 17-1029:

To allow the addition of 108 square feet on the first floor and a second story addition of 541 square feet to an existing single story 1,182 square foot residence for a total two story residence of 1,831 square feet, to also rebuild the existing carport into a garage.

CONDITIONS OF APPROVAL

1. **Permit Expiration.** This permit shall expire and be null and void if a building permit has not been applied for within one (1) year from and after the date of approval. Application for extension of this approval must be made prior to the expiration date.
2. **Construction Compliance.** All construction must occur in strict compliance with the proposal as set forth in the application, subject to any special conditions of approval herein. Any deviation from

approvals must be reviewed and approved by staff, and may require Architectural Review Board approval.

3. **Terms and Conditions.** These terms and conditions shall run with the land, and it is the intention of the Community and Economic Development (C&ED) Director and the Permittee to bind all future owners and possessors of the subject property to the terms and conditions, unless amended. Amendments to this permit may be achieved only if an application is made and approved, pursuant to the Zoning Code.
4. **Public Works, Fire and Building.** Review and approval by the Public Works, Fire and Building Departments are required prior to issuance of a building permit. Work taking place in the public right-of-way shall require an encroachment permit prior to issuance of the building permit.
5. **Tree Protection Standards During Construction:** Pursuant to Municipal Code Chapters 12.20 and 12.30, and the *Urban Forestry Standards*, all trees that are otherwise protected and will be impacted as a result of Development, both proposed for pruning or removal and where the development will impact the critical root zone of the tree are protected. Prior to issuance of the building permit, the Project Arborist shall review grading, drainage, utility, building and landscape plans to determine impacts to individual Trees, to determine required minimum Tree protection standards during construction.
6. **Stormwater Treatment Measure:** The stormwater treatment measures shall be maintained by the property owner in perpetuity and City of Pacific Grove staff shall be allowed access to inspect all stormwater treatment measures on an annual basis.
7. **Best Management Practices:** An erosion and sediment plan is required as part of the building plan submittal.
8. **Street Trees.** One tree must be planted per 30 feet of frontage, with a minimum of two trees.
9. **Curbs and sidewalks.** Install curbs and sidewalks along all public street frontages.
10. **Lighting:** All exterior lighting must conform to Architectural Review Guidelines Nos. 10,11,12
11. **Archeology.** If archaeological resources or human remains are discovered during construction, work shall be halted within 50 meters of the find until it can be evaluated by a qualified professional archaeologist. If the find is determined to be significant, appropriate mitigation measures shall be formulated, with the concurrence of the City of Pacific Grove staff, and implemented.
12. **Building Plans:** All conditions of approval for the Planning permit(s) shall be printed on a full size sheet and included with the construction plan set submitted to the Building Department.
13. **Story Poles and Netting:** Following the 10 day appeal period all story poles and netting are required to be removed.

NOW, THEREFORE, BE IT RESOLVED BY THE ARCHITECTURAL REVIEW BOARD OF THE CITY OF PACIFIC GROVE:

1. The Board determines that each of the Findings set forth above is true and correct, and by this reference incorporates those Findings as an integral part of this Permit.
2. The Board authorizes Approval of Architectural Permit (AP) 17-1029
3. This permit shall become effective upon the expiration of the 10-day appeal period.
4. This permit shall not take effect until the owner acknowledges and agrees to all terms and conditions and agrees to conform to and comply with those terms and conditions.

Passed and adopted at a regular meeting of the Architectural Review Board of the City of Pacific Grove on the 18th day of December, 2017, by the following vote:

AYES:

NOES:

ABSENT:

APPROVED:

Rick Steres, Chair

The undersigned hereby acknowledge and agree to the approved terms and conditions, and agree to fully conform to, and comply with, said terms and conditions.

Rachel Bailey, Owner

Date

James Bailey, Owner

Date



CITY OF PACIFIC GROVE
Community Development Department – Planning Division
300 Forest Avenue, Pacific Grove, CA 93950
T: 831.648.3190 • F: 831.648.3184 • www.ci.pg.ca.us/cdd
NOTICE OF EXEMPTION FROM CEQA

Property Address/Location: 1315 Lincoln, Pacific Grove, CA 93950

Project Description: AP 171029

To allow the addition of 108 square feet on the first floor and a second story addition of 541 square feet to an existing single story 1,182 square foot residence for a total two story residence of 1,831 square feet, to also rebuild the existing carport into a garage.

APN: 007573009000

ZC: R-1

Lot Size: 4,843 SF

Applicant Name:	Joseph Rock	Phone #:	373-8331
Mailing Address:	210 17th Street Pacific Grove		
Email Address:			

Public Agency Approving Project: City of Pacific Grove, Monterey County, California

Exempt Status (Check One):

- Ministerial (Sec. 21080(b)(1);15268))
- Declared Emergency (Sec. 21080(b)(3): 15269(a))
- Emergency Project (Sec. 21080(b)(4); 15269(b)(c))
- Categorical Exemption
Type and Section Number: Class 1 Section 15301 (e)
- Statutory Exemption
Type and Section Number:
- Other:

Exemption Findings:

The project qualifies for a Class 1 exemption from CEQA requirements, pursuant to Section 15301(e) (1) – Existing Facilities. The proposed addition and alterations do not present any unusual circumstances that would result in a potentially significant environmental impact. The proposed alterations do not constitute a substantial adverse change to the structure, thus conforming to the requirements of the California Environmental Quality Act (CEQA).

Contact: Laurel OHalloran, Planning Department, City of Pacific Grove

Contact Phone: (831) 648-3183

Signature: Laurel O'Halloran

Date: December 5, 2017



CITY OF PACIFIC GROVE

Community Development Department – Planning Division

300 Forest Avenue, Pacific Grove, CA 93950
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Initial Historic Screening Determination

Address: 1315 Lincoln Ave APN: 007-573-009-000
 Owner: Rachel Bailey Applicant: N/A

HISTORIC RESOURCES COMMITTEE (HRC) RECOMMENDATION:

At the September 27, 2017 HRC meeting, the Committee prepared the following Preliminary Determination of Ineligibility and forwarded the recommendation to the Community Development Director:

- Determined to be ineligible as an “Historical Resource,” due to the following criteria:
 - 1. The property has undergone significant alterations to the primary or most visible façade, as evidenced through original plans, photographs or Sanborn maps.
 - _____ (description of known alteration)
 - _____ (type of documentation)
 - 2a. The property does not exhibit the architectural characteristics of the styles described in Section 7.3 of the General Plan or Section IV of the Historic Context Statement;
 - or
 - 2b. The property does not exhibit unique architectural, site or locational characteristics.
 - 3. The property is not associated with important persons, events or architecture.
- Determination of ineligibility cannot be made.

HRC Comments:

9/27/17
 Maureen Mason, HRC Chair Date

COMMUNITY DEVELOPMENT DIRECTOR (CDD) DETERMINATION:

Based on the recommendation above, the CDD Director, or their designee:

- Made a determination of ineligibility, which will remain in effect for 10 years from the date of approval.
- Found that a determination of ineligibility cannot be made, and a Phase 1 Historic Assessment (DPR 523 Form) is required.

9/27/17
 Mark Brodeur, CEDD Director Date



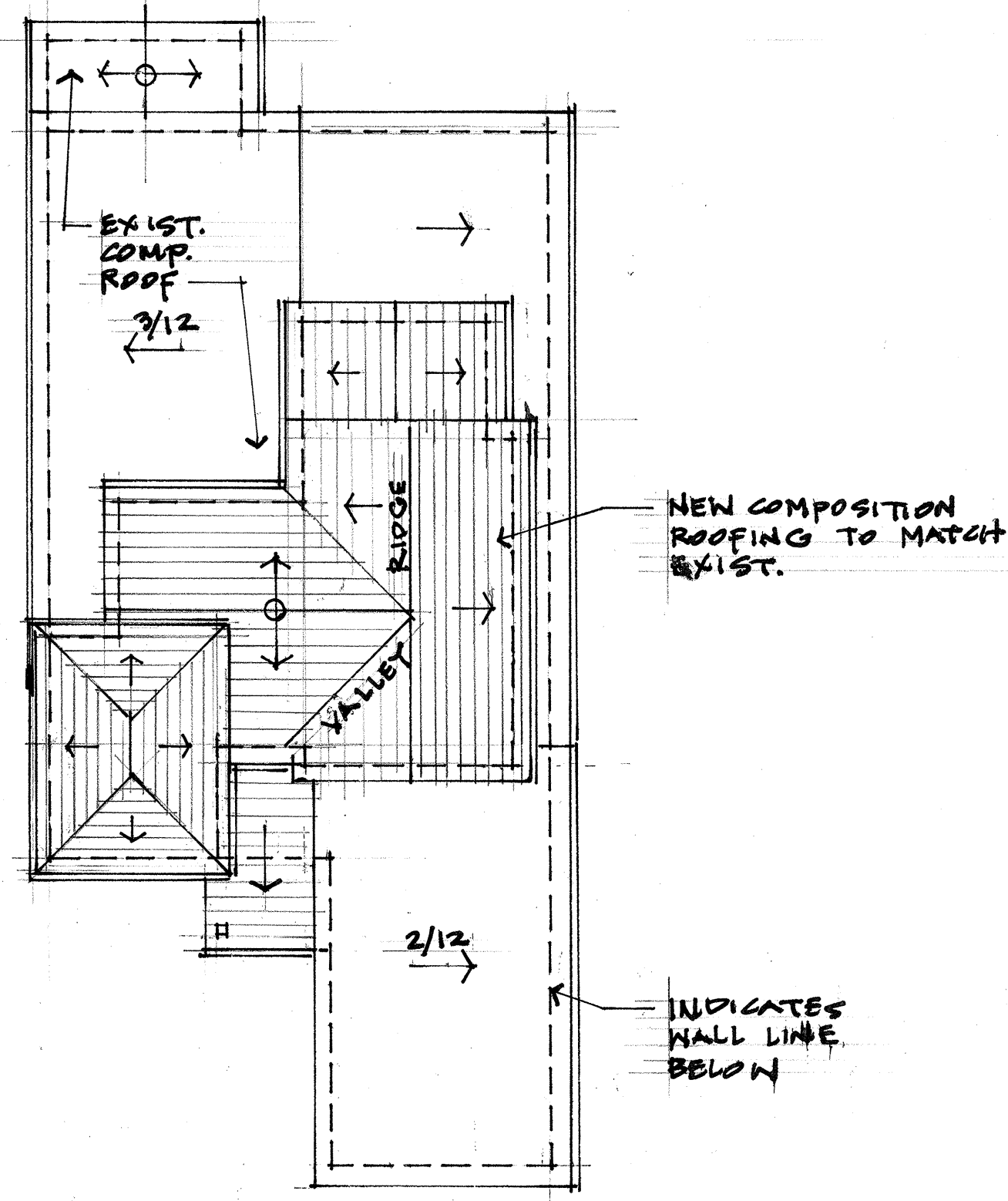
BAILEY
1315 LINCOLN AVE.
PACIFIC GROVE, CA



JOSEPH ROCK
ARCHITECTURE • PLANNING
210 Seventeenth Street #1
Pacific Grove, CA 93950

GENERAL NOTES

1. All construction shall conform to the 2013 edition of the California Building Code, local ordinances, etc. In case of discrepancy, the more stringent shall apply.
2. In case of discrepancies regarding dimensions or the intention of the drawings is unclear, the Contractor shall clarify with the Architect before proceeding with that work.
3. Minimum concrete strength @ 28 days to be 2500 psi. Slump shall be minimum consistent with placing conditions, but not exceed 4 1/2".
4. Reinforcing steel shall conform to ASTM A-615, grade 40, deformed, unpainted, and free from rust, scale or mud.
5. Provide 26 ga. galvanized steel flashing as detailed and required to insure a watertight enclosure. All pieces shall be fabricated in maximum practical lengths, free from warps, buckles, dents, and other defects. Shop prime.
6. Caulk all sill plates. Weatherstrip all exterior doors and windows.
7. Toilets shall have a maximum 1 1/2 gallons/flush. Showerheads shall not exceed 2 1/2 gal/minute @ 40 psi. Maximum building water pressure is 50 psi. Faucets @ 2.2 gal/min.
8. All lumber 4x4 and larger shall be Douglas Fir #1, unless otherwise noted. All lumber is D.F. #2 grade or better. Exposed beams & posts to be Select Structural.
9. All lumber grades shall conform to the latest grading designations and the Western Wood Products Association.
10. All nailing shall conform to the 2013 edition, C.B.C. ~~2424.9.1~~ nailing schedule.
11. Make all framing, post cap and base connections using "Simpson" fasteners as indicated or equal.
12. Plumbing pipelines may not be used as an electrical ground.
13. No use of solders containing more than 2/10ths of 1% lead in making joints on water supply.
14. Protect trees within 10 feet of grading with wrap of 2x4s @ 8" o.c. Any damaged landscape shall be replaced with like material at Contractor's cost.
15. All faucets more than 10' from the water heater shall have a hot water re-circulating system.
16. One window or door in each sleeping room shall provide a minimum operable area of 5.7 sq. ft., minimum clear opening height of 24", width of 20", maximum sill height of 44" opening directly into a public street, alley, court or yard.
17. Bathroom receptacle outlets shall be supplied by at least one 20-amp circuit. Such circuits shall have no other outlets.
18. Shower thresholds shall be of sufficient width to accommodate a minimum 22" door. Shower doors shall open so as to maintain a 22" unobstructed opening for egress. All shower compartments shall have a minimum finished interior of 1024 sq. in. and be capable of encompassing a 30" diameter circle.
19. Provide pressure valve of thermostatic mixing valve to limit water temperature to 120 degrees F at tubs and showers.
20. "Gas line sizing diagram and pipe specification will be submitted to the Building dept. prior to Rough Plumbing Inspection."

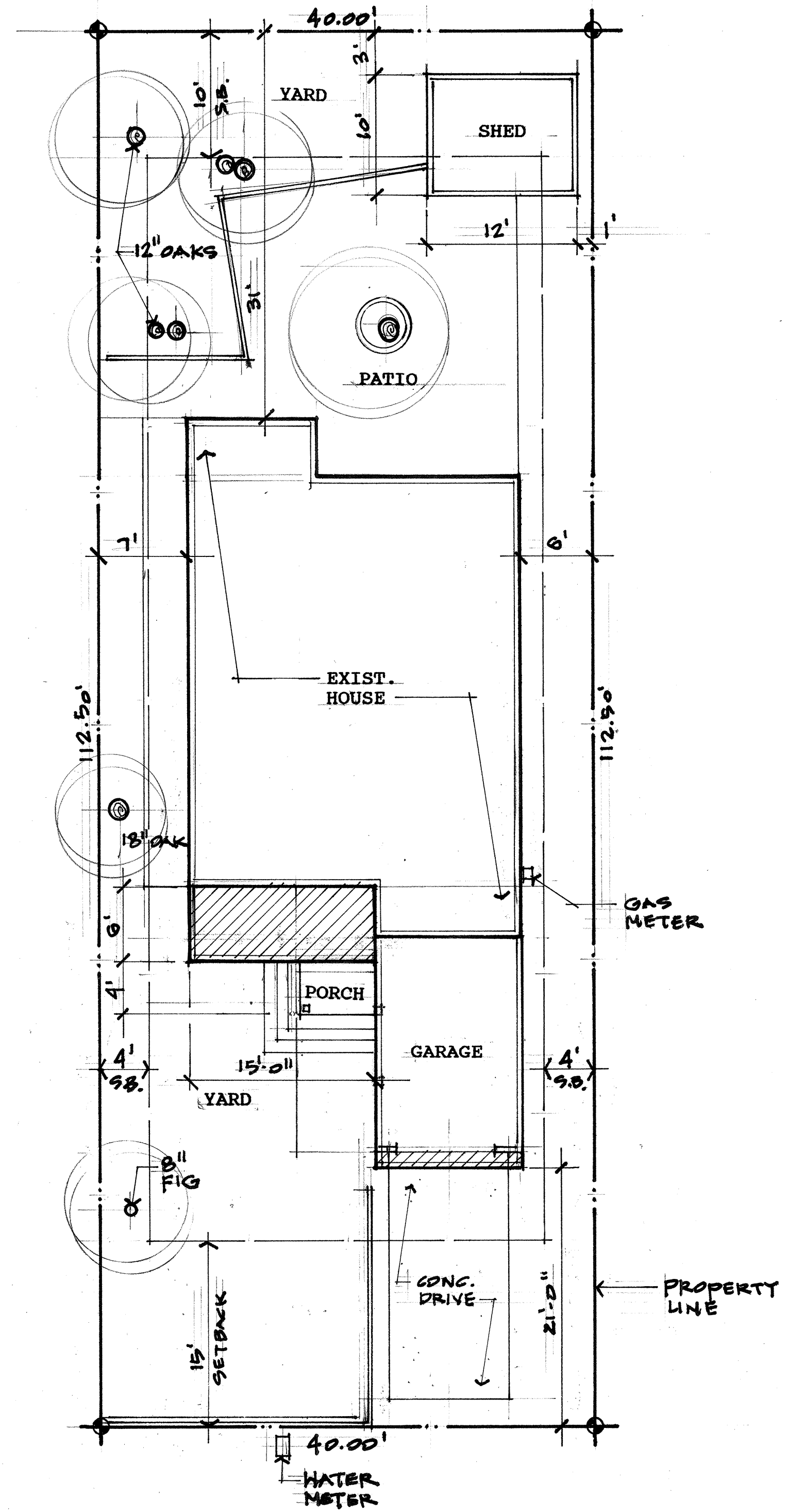


Roof Plan

1/8" = 1'-0"



PROJECT DESCRIPTION: REBUILD EXISTING CARPORT TO GARAGE, SECOND FLOOR MASTER BEDROOM/ BATH, STAIRS ADDITION TO EXISTING SINGLE-FAMILY RESIDENCE.



Site Plan

1/8" = 1'-0"

APN 007-573-009 ZONING: R-1
LOT 8, BLOCK 24

PROJECT INFORMATION	
EXISTING HOUSE-	938 S.F.
EXISTING CARPORT- 12'x21'6"	258 S.F.
EXISTING SHED- 10'x12'	120 S.F.
M. BEDROOM/ BATH ADDITION-	1310 S.F.
TOTAL-	498 S.F.
SITE AREA - 40'x112.5'	4500 S.F.
ALLOWABLE SITE COVERAGE - 60%	2700 S.F.
PROPOSED SITE COVERAGE - 1418/4500	= 32%
ALLOWABLE FLOOR AREA -	2373 S.F.
PROPOSED FLOOR AREA -	1814 S.F.

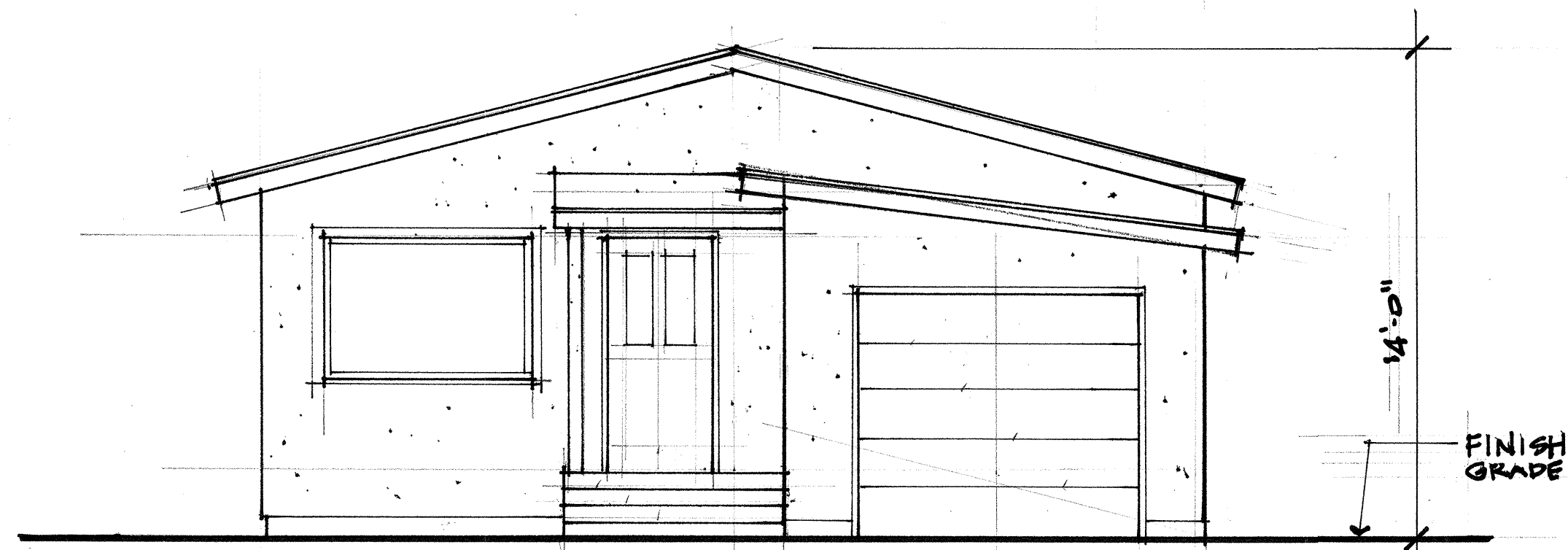
ALLOWABLE HT = 25'
PROPOSED HT = 22'

JOSEPH ROCK
ARCHITECTURE + PLANNING
210 Seventeenth Street #1
Pacific Grove, CA 93950
831 373 8331

THE USE OF THESE PLANS AND SPECIFICATIONS IS RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED, AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. RE-USE, REPRODUCTION OR PUBLICATION BY ANY OTHER PARTY IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH THE ARCHITECT, AND VISUAL CONTACT WITH THEM CONSTITUTES PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.

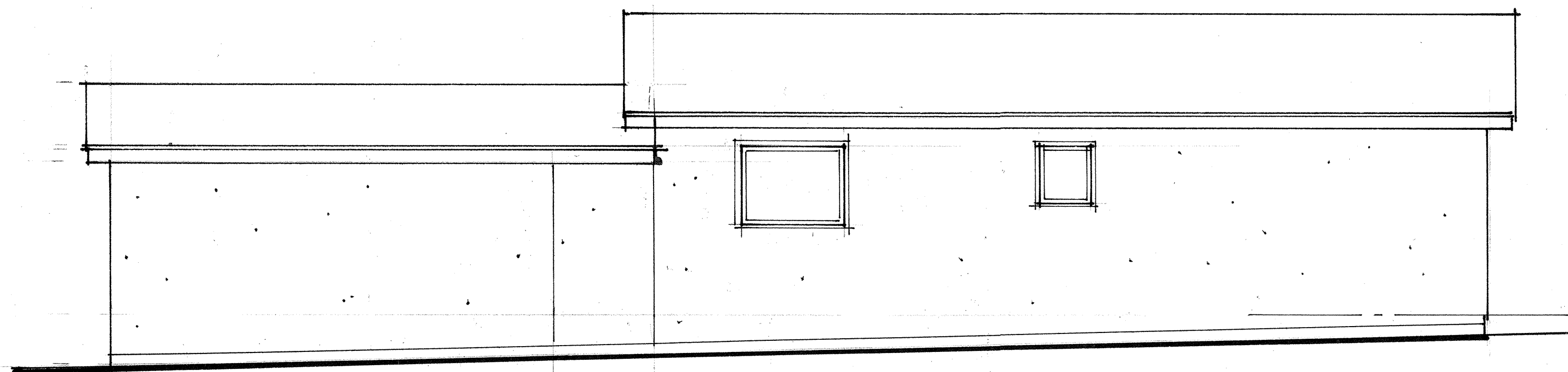
JAMES & RACHEL BAILEY
1315 Lincoln Avenue
Pacific Grove, California
931 217-0337

ISSUED
OCT. 27, 2017
REVISED



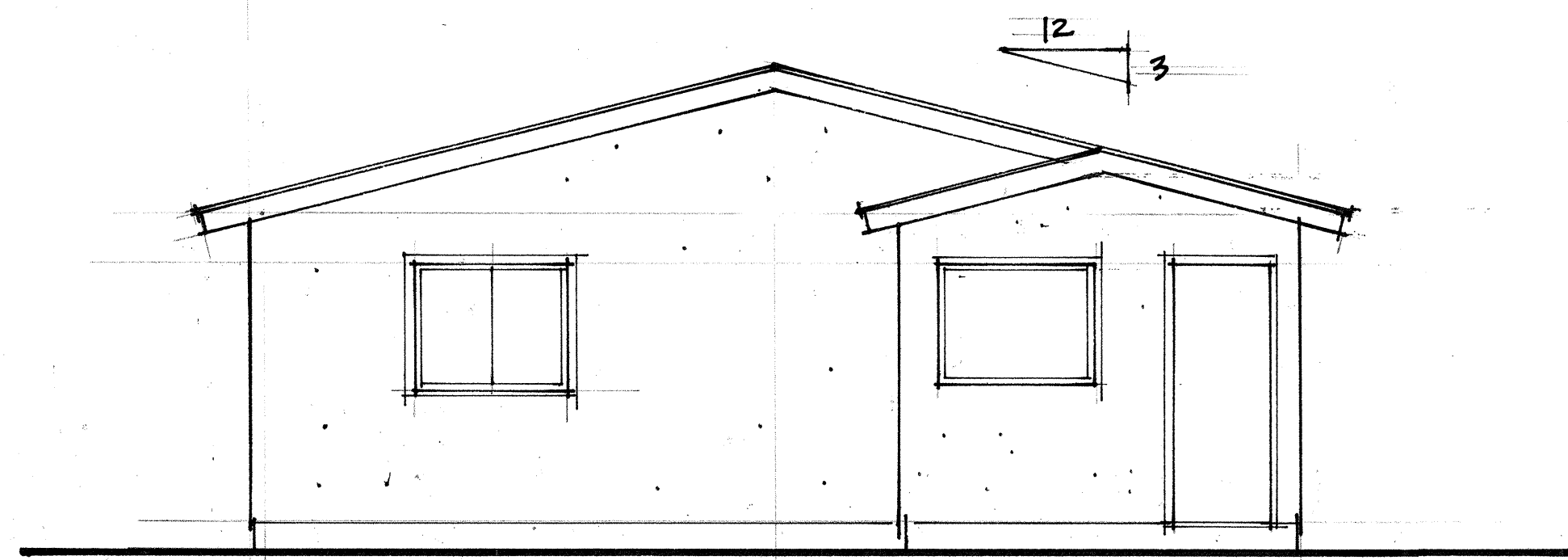
**Existing
North Elevation**

1/4" = 1'-0"



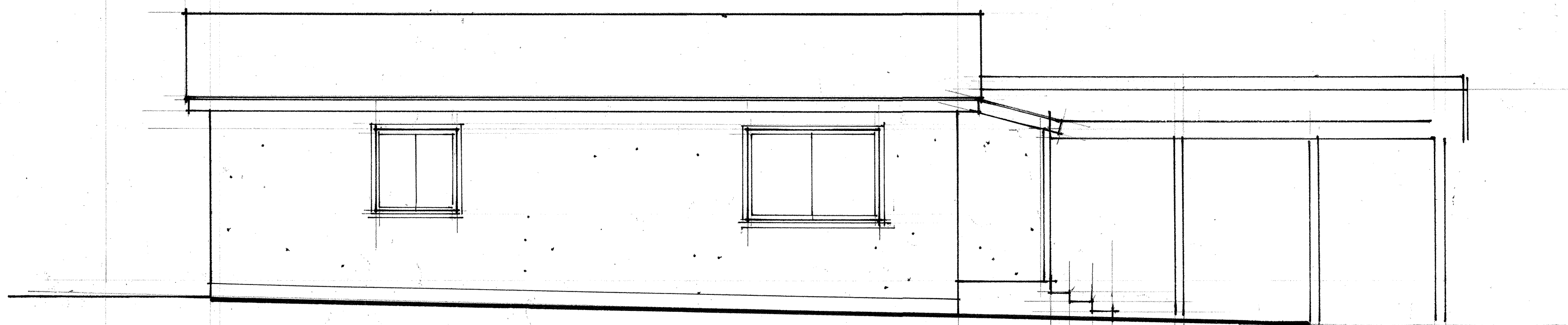
**Existing
West Elevation**

1/4" = 1'-0"



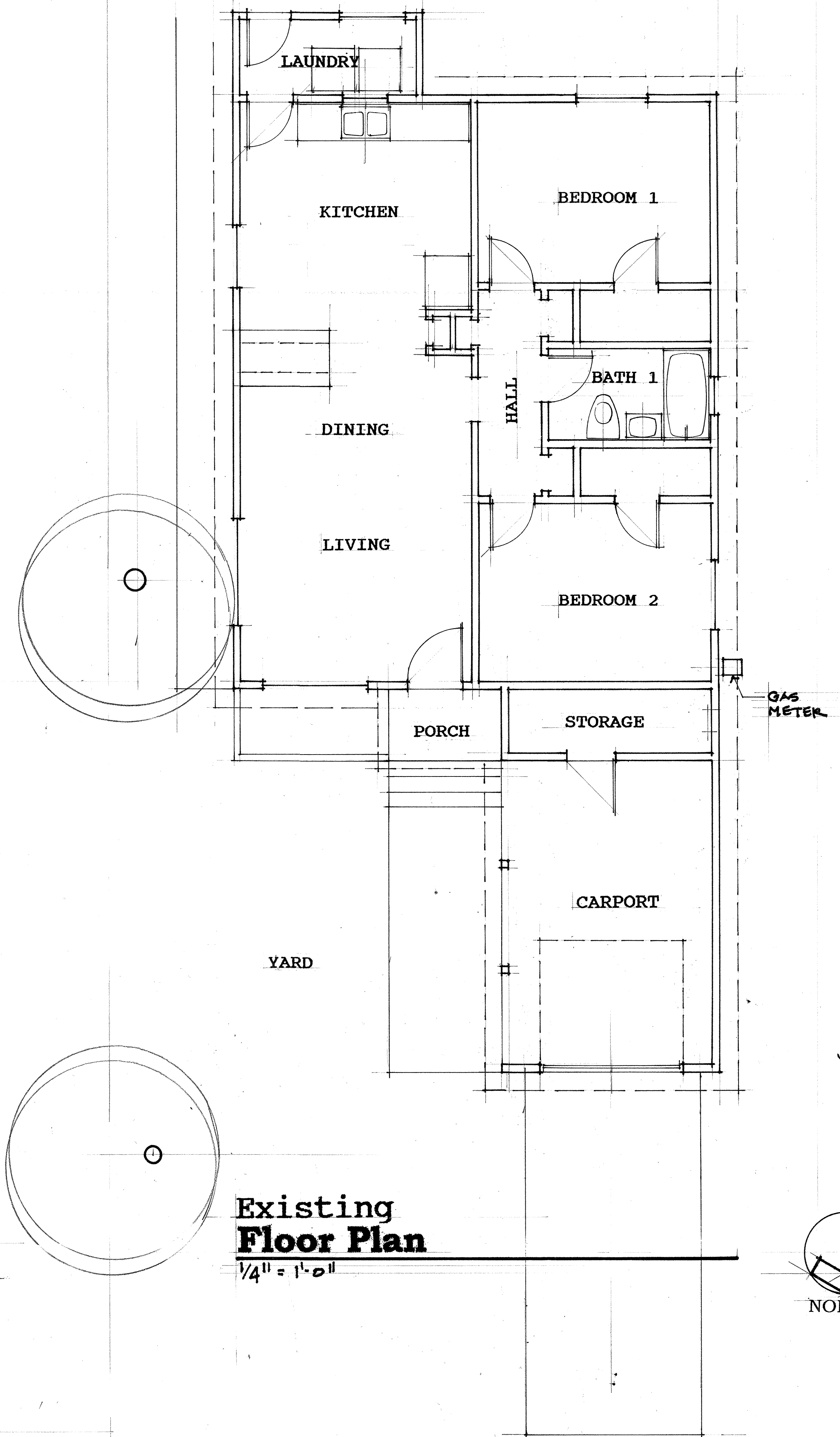
**Existing
South Elevation**

1/4" = 1'-0"



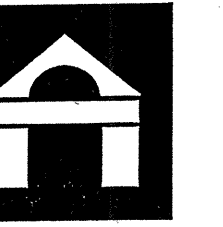
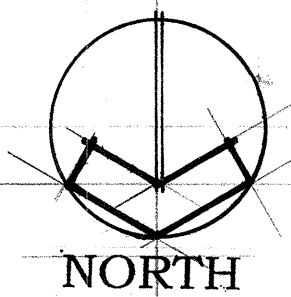
**Existing
East Elevation**

1/4" = 1'-0"

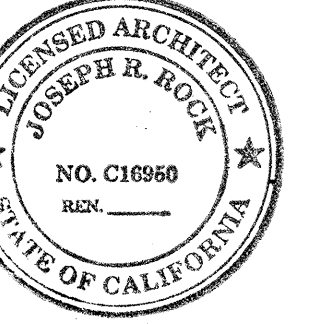


**Existing
Floor Plan**

1/4" = 1'-0"



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831 373 8331

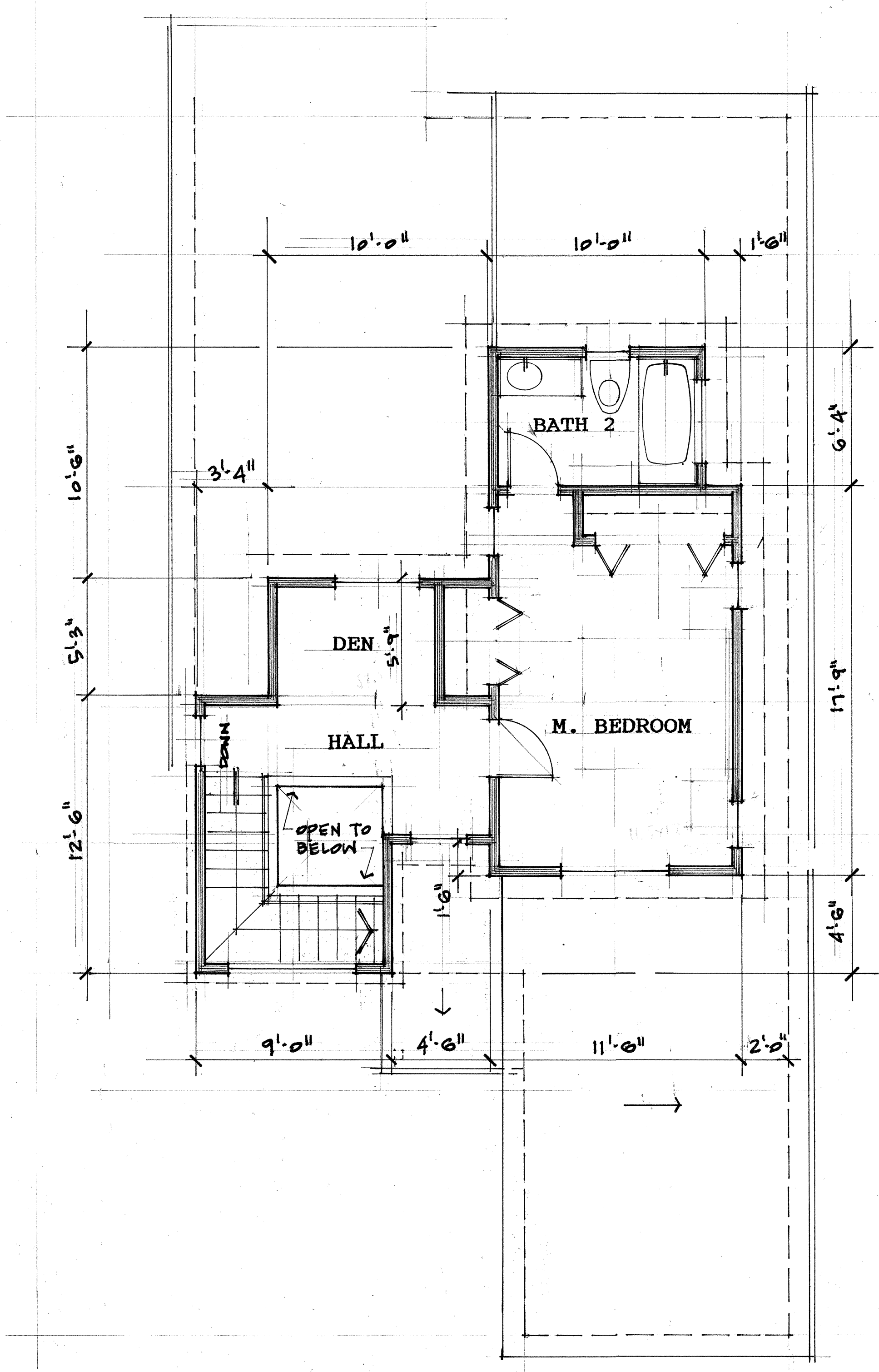


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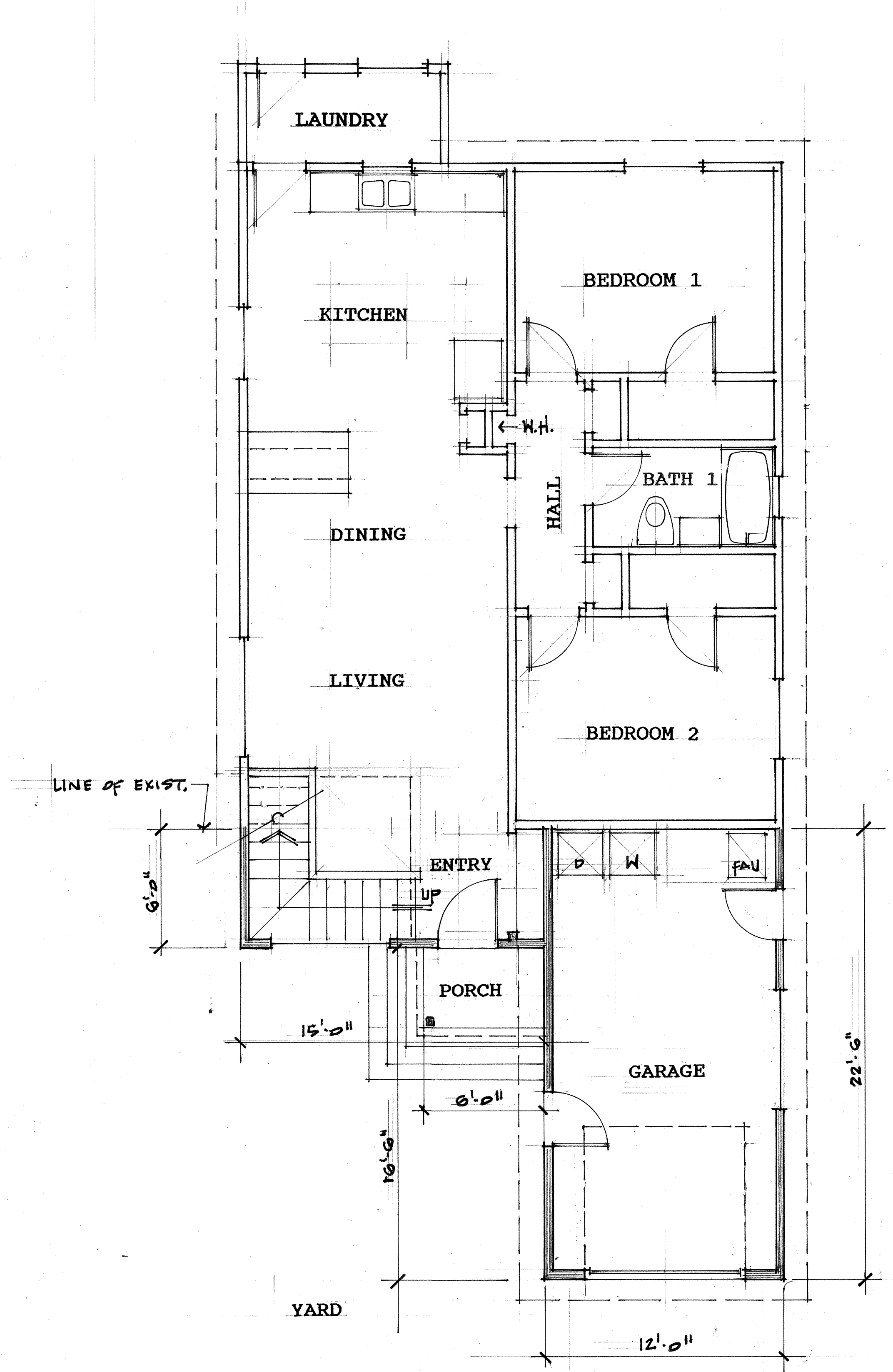
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Second Floor Plan

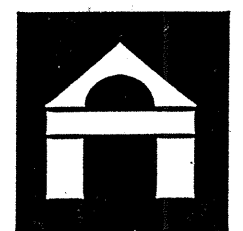
1/4" = 1'-0"



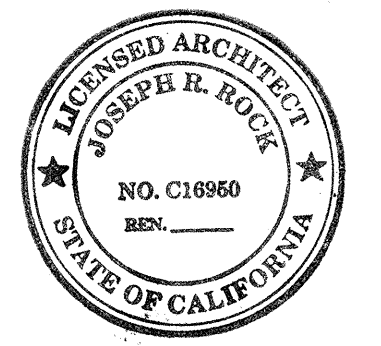
First Floor Plan

1/4" = 1'-0"

INDICATES EXISTING BUILDING
 TO BE REMOVED
 NEW CONSTRUCTION



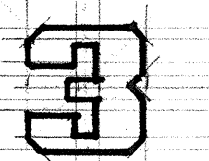
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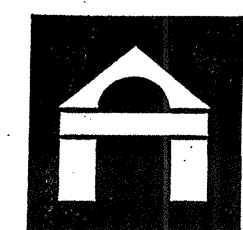


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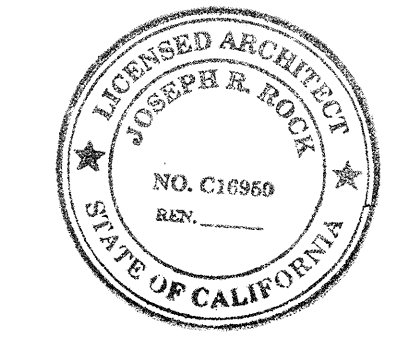
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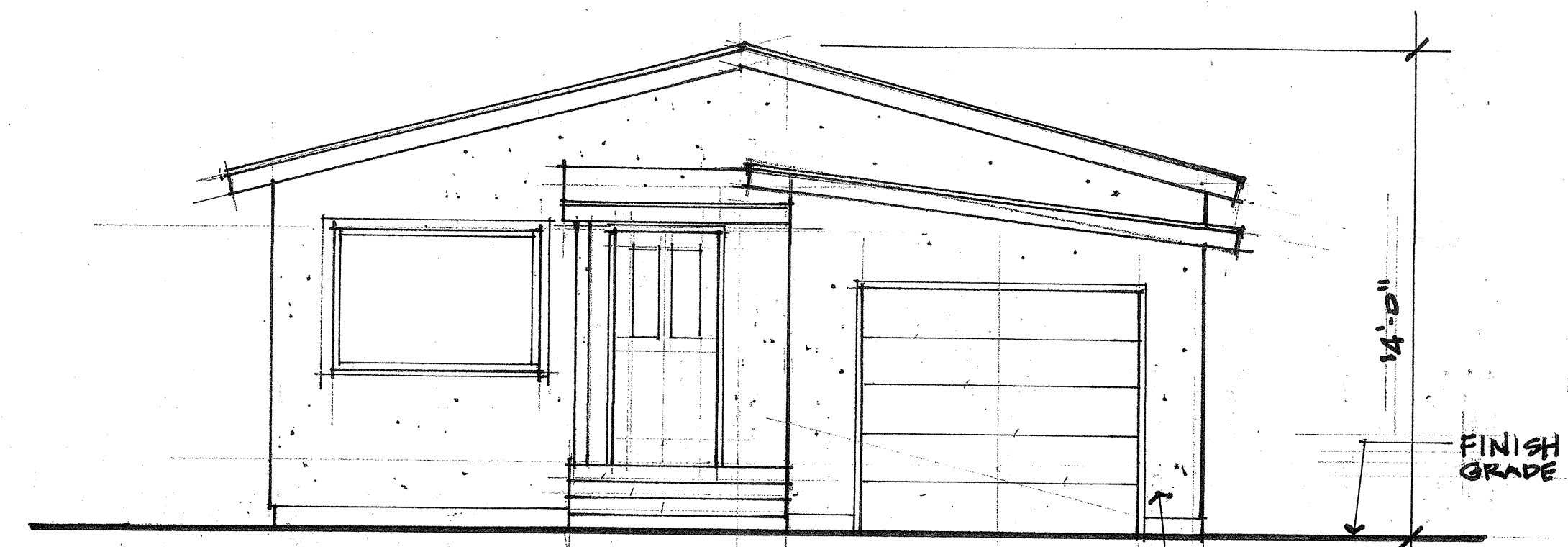




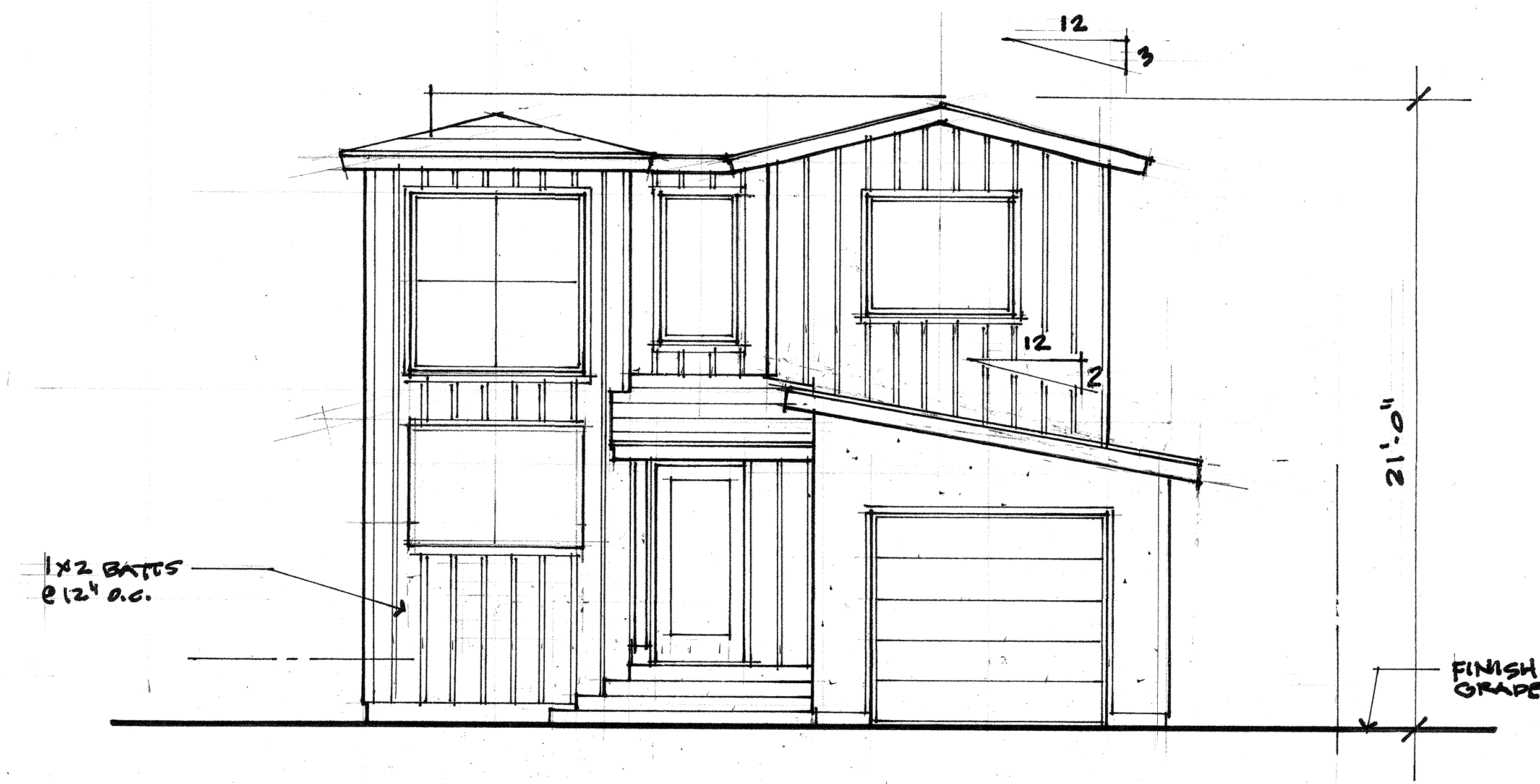
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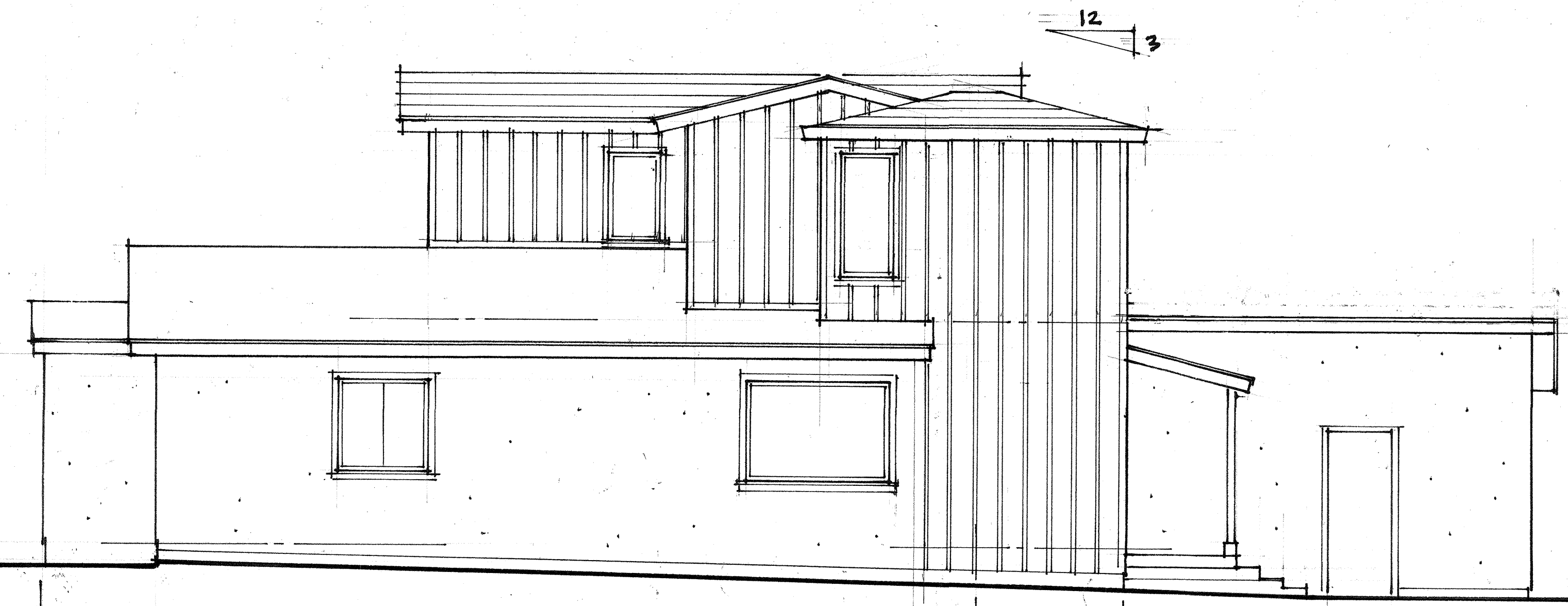
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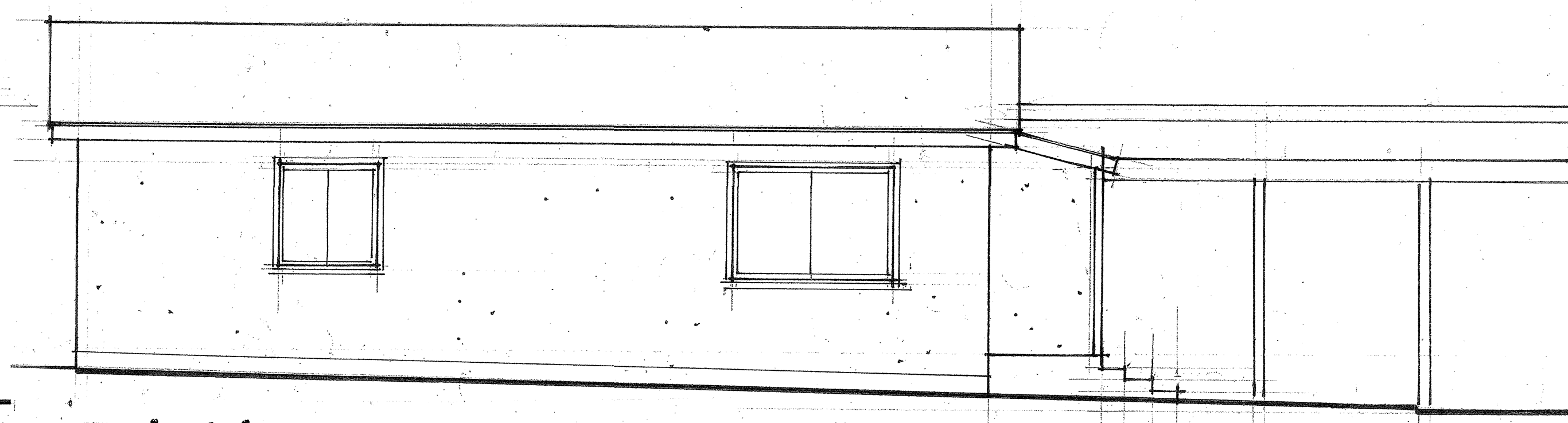
Existing North Elevation
1/4" = 1'-0"



North Elevation
1/4" = 1'-0"



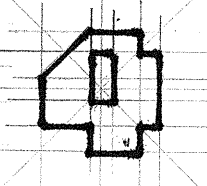
East Elevation
1/4" = 1'-0"

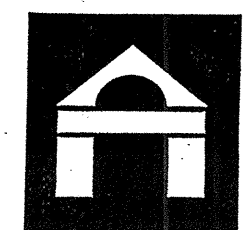


Existing East Elevation

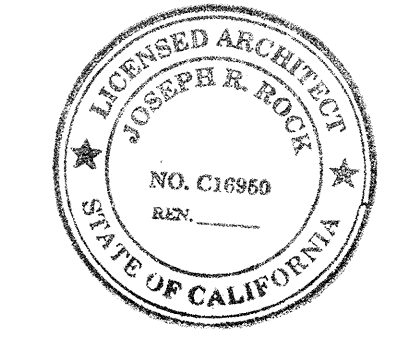
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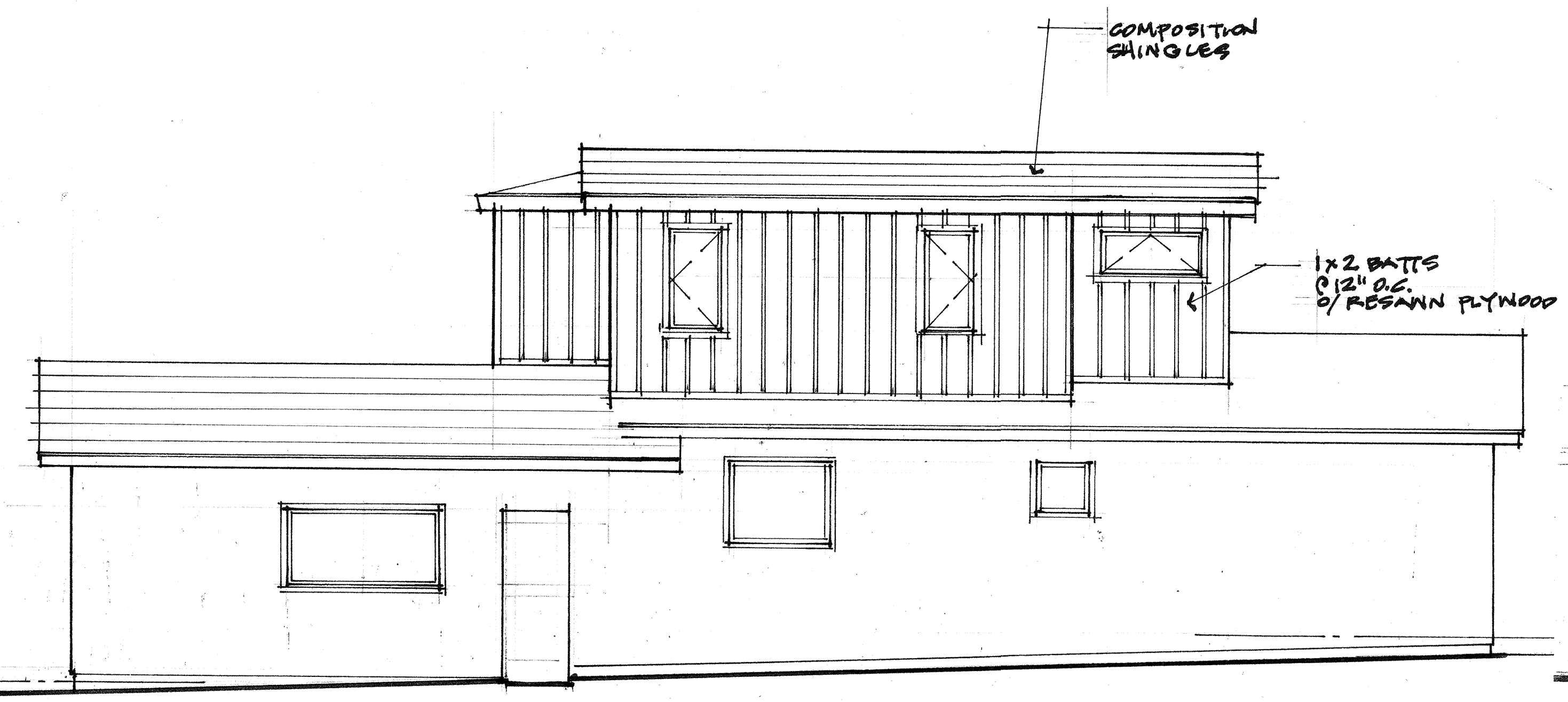
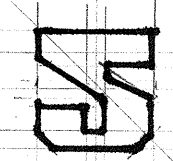
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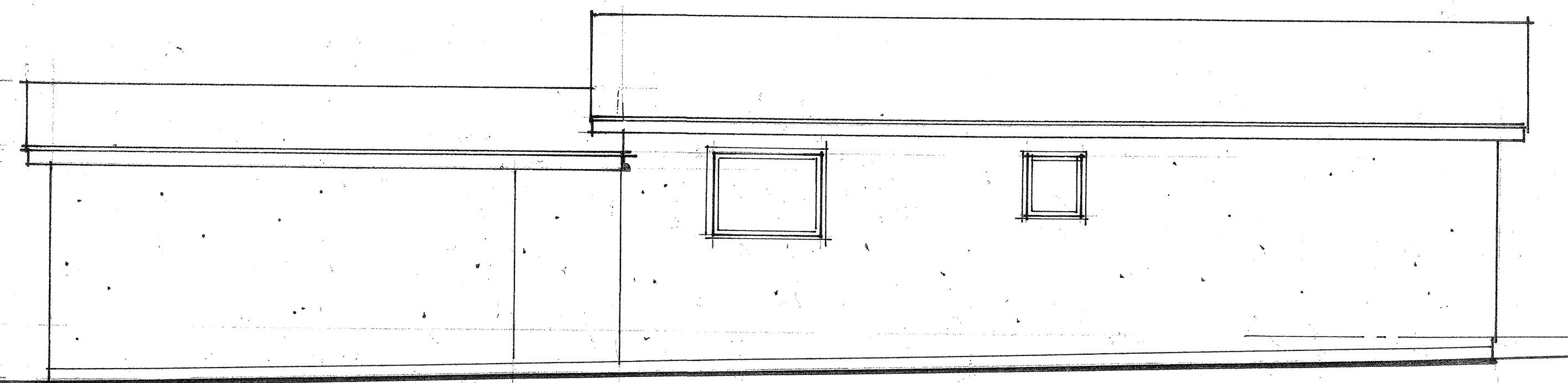
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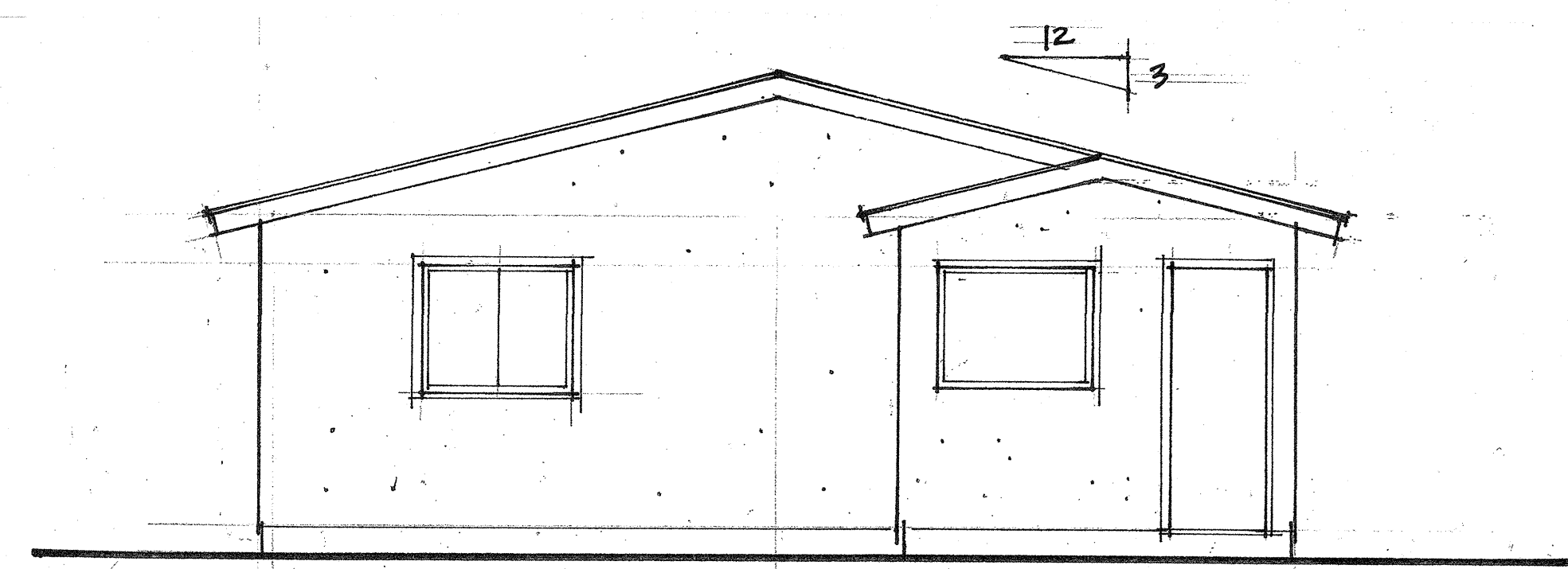
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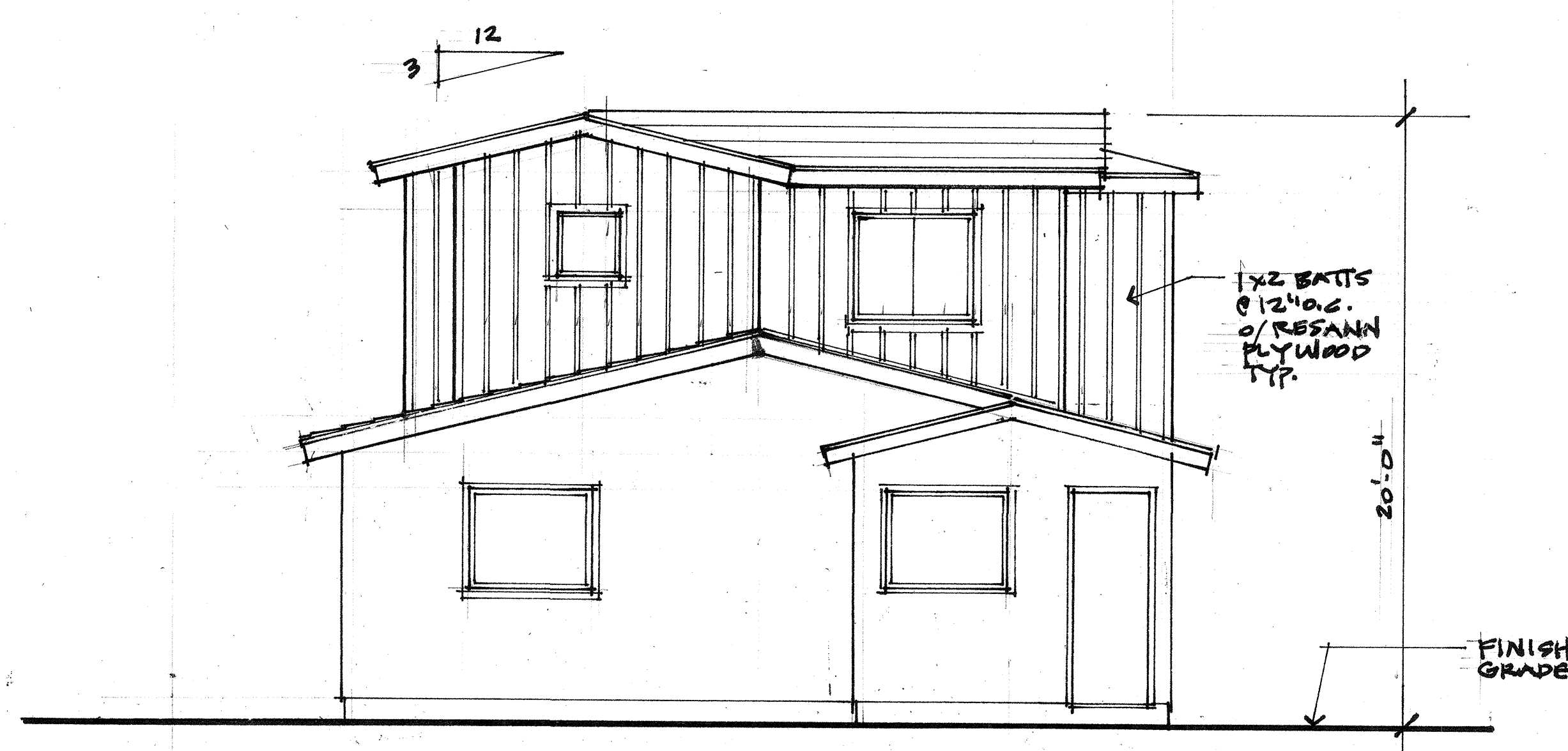
West Elevation
1/4" = 1'-0"



Existing West Elevation
1/4" = 1'-0"

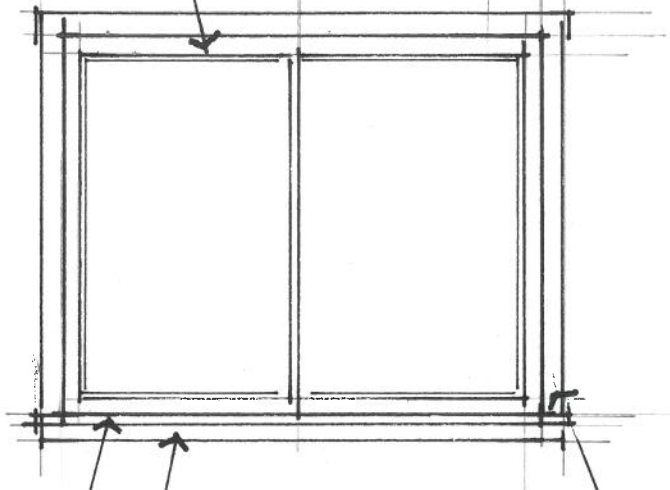


Existing South Elevation
1/4" = 1'-0"



South Elevation
1/4" = 1'-0"

"MILGARD" VINYL
WINDOWS TYP.



WD. SILL

X2 WD
TRIM

X3 WD
TRIM



WINDOW TRIM

1/2" = 1'-0"

Window Styles

Choose the style or configuration that best suits your home style and architectural needs.



Awning

Min 1'3"x1'4"

Max 5'0"x3'0"



Casement

Min 1'6"x1'6"

Max 3'0"x6'0"



"MILGARD" TUSCANY SERIES

BRILEY
1315 LINCOLN AVE,
PACIFIC GROVE, CA.

NOV. 14, 2017